

CHARLTON PLACE
ARCHITECTURAL REVIEW COMMITTEE
Rules and Regulations

**APPENDIX 1
BUILDER APPLICATION
FORM A**

I. General Information:

Company Name: _____
Contractor Name: _____
Mailing Address: _____
Cell Phone Number: _____ Office Phone Number: _____
E-mail Address: _____

II. List Primary Lender and Three Current Credit References:

Contact Name	Phone Number	Address	Business Name
1. _____	_____	_____	_____
2. _____	_____	_____	_____
3. _____	_____	_____	_____
4. _____	_____	_____	_____

III. List Customer Reference:

Contact Name	Phone Number	Address
1. _____	_____	_____
2. _____	_____	_____

IV. Address and Date of Completion of the Last Five Houses Built:

Address	Lot #	Date of Completion
1. _____	_____	_____
2. _____	_____	_____
3. _____	_____	_____
4. _____	_____	_____
5. _____	_____	_____

Shall Have Attached All Of The Following To Be Considered For Submittal:

- V.** Attach A Copy Of Your Mississippi Builders License.
- VI.** Attach A Copy Of Your Liability Insurance (MINIMUM OF \$500,000.)
- VII.** Attach A Copy Of Your Workmans Compensation.
- VIII.** Attach Exterior Pictures of Last Five Houses Completed.
- IX.** Provide Full Disclosure Of Any Litigation Pending or Active.

THE INFORMATION PROVIDED IS TRUE AND ACCRUATE.

SIGN: _____

DATE: _____

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APPENDIX 1
BUILDER/ CONTRACTOR INSURANCE VERIFICATION
FORM B

The undersigned builder/ contractor herein verify there is in place workers compensation coverage on all subcontractors, laborers, and all other individuals working on the following described property.

The builder/ contractor agrees to hold harmless and indemnify the Highway 22 Property, LLC and its Architectural Review Committee for all occurrences that take place on the work site.

PARCEL NUMBER: _____

Further, said builder/ contractor acknowledges and agrees that the Rules and Regulations of the Highway 22 Property, LLC. and its Architectural Review Committee (ARC) shall be followed. All approvals shall be obtained prior to any work commencing upon any said lot. The builder/ contractor acknowledge that new homes cannot be occupied until a final approval has been given and approved in writing by the Charlton Place ARC.

Builder/ Contractor (print full name)

DATE

Builder/ Contractor (signature)

DATE

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APPENDIX 1
ARCHITECTURAL REVIEW APPLICATION
FORM C

NOTICE: All submittal requirements shall be submitted to the Charlton Place ARC **no later than 4:00 p.m. the Monday prior to the ARC meeting.** The ARC meets on the 2nd and 4th Thursday of the month unless other wise noted by the Architectural Control Coordinator.

Applicant Information:

Date: _____ Parcel Number: _____
Applicant: _____ Heated & Cooled Sq. Ft.: _____
Contact Person: _____ Phone: _____
Mailing Address: _____

Builder Information:

Name: _____ Phone Number: _____
Mailing Address: _____

Architect/Designer Information:

Name: _____ Phone Number: _____
Mailing Address: _____

Landscape Architect/ Designer Information:

Name: _____ Phone Number: _____
Mailing Address: _____

Type of Review: *check review that applies

_____	Initial Review Fee	_____	Re-submittal Review Fee
_____	Post Review Fee	_____	Addition Review Fee

Estimated Cost of Improvement / Start / Finish Dates:

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Estimated cost of improvements to lot: _____ Estimated Start to Finish Date: _____

**APPENDIX 1
ARCHITECTURAL CONTROL ACKNOWLEDGEMENT
FORM D**

Permission to Enter Property:

Permission is hereby granted for members of the ARC to enter on the property to make reasonable observations of the construction site.

Agreed: _____ Date: _____

ARC Rules and Regulations:

I have fully read, understand, and I agree to comply with the Charlton Place ARC Rules and Regulations.

Agreed: _____ Date: _____

Plan Approval:

I fully understand that Plan Approval shall be valid for a period of six (6) months only from the final approval date upon the approved set of plans in which I will receive, and commencement of construction thereafter will require re-approval.

Agreed: _____ Date: _____

DESIGN IS HEREBY APPROVED **SUBJECT TO "REDLINE" REVISIONS ON PLANS:**

Michael Rosenthal, Architectural Control Coordinator, Charlton Place

Approved by: _____ Date: _____

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**APPENDIX 1
PLAN SPECIFICATIONS
COLOR AND MATERIALS
FORM E**

Exterior Finish: Brick Selection:	_____	Brand Name:	_____	Refer. Number:	_____	
	Mortar:	_____	Brand Name:	_____	Refer. Number:	_____
	Stucco:	_____	Brand Name:	_____	Refer. Number:	_____
	Stone Selection:	_____	Brand Name:	_____	Refer. Number:	_____
	Siding:	_____	Brand Name:	_____	Refer. Number:	_____
Trim:	Material:	_____	Brand Name:	_____	Refer. Number:	_____
Shutters:	Material:	_____	Brand Name:	_____	Refer. Number:	_____
Windows:	Material:	_____	Brand Name:	_____	Refer. Number:	_____
Front Door:	Material:	_____	Brand Name:	_____	Refer. Number:	_____
Garage Door:	Material:	_____	Brand Name:	_____	Refer. Number:	_____
Columns:	Material:	_____	Brand Name:	_____	Refer. Number:	_____
Porch:	Material:	_____	Brand Name:	_____	Refer. Number:	_____
Chimney:	Material:	_____	Brand Name:	_____	Refer. Number:	_____
Roof:	Material:	_____	Brand Name:	_____	Refer. Number:	_____
Drive:	Material:	_____	Brand Name:	_____	Refer. Number:	_____
Walks:	Material:	_____	Brand Name:	_____	Refer. Number:	_____
Patio/Terrace:	Material:	_____	Brand Name:	_____	Refer. Number:	_____
Fence:	Material:	_____	Brand Name:	_____	Refer. Number:	_____
Courtyard/ Retaining/Walls	Material:	_____	Brand Name:	_____	Refer. Number:	_____
Pool/ Spas:	Material:	_____	Brand Name:	_____	Refer. Number:	_____
Outdoor Structures	Material:	_____	Brand Name:	_____	Refer. Number:	_____

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**APPENDIX 1
ARC SCHEDULE OF FEES AND DEPOSITS
FORM F**

Each applicable fee shall be submitted with plans. All damage deposits and ARC fees shall be written out into **two completely separate checks** for depositing purposes. All review fees shall be accompanied by a copy of the filed deed to the parcel under review for proof of ownership.

1. Initial Review Fees and Damage Deposits:

- (a) Initial Review Fee \$500 (initial fee may include all post fees below)
Make check payable to TWB Planning Group
- (b) Damage Deposit \$2000.00
Make check payable to Charlton Place Architectural Review Committee
- (c) Re-submittal \$150 (For Architectural, Site & Grade, and Landscape alterations)
Make check payable to TWB Planning Group

2. Post-Construction Fees:

*If not included with Initial Review Fee submittal the following fees shall apply:

- (a) Residential Addition \$250 Fee (heated & cooled, non-heated & cooled areas)
Make check payable to TWB Planning Group
- (b) Damage Deposit \$1000.00 (Residential Additions)
Make check payable to Charlton Place Architectural Review Committee
- (c) Minor Review Fee \$150 (Fences, Courtyard Walls, Pools, Spas, etc.)
Make check payable to TWB Planning Group

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APPENDIX 2
CHARLTON PLACE APPROVED LANDSCAPE ARCHITECTS & DESIGNERS
REFERENCE A.

Barry Landscape, Inc.		Jackson, MS 39232
Temple Barry	601-932-6606	www.barrylandscape.net
Garry Graves Landscape, Inc.		Flowood, MS 39232
Garry Graves	601-939-5442	
Griffin & Egger Landscape Architects		Jackson, MS 39211
Rick Griffin	601-977-0073	
Powell Place Landscape Services, Inc.		Jackson, MS 39232
Terry Powell	601-720-5000	www.powellplaceinc.com
Madison Planting & Design Group		Canton, MS 39046
Kirk Cameron	601-898-0775	www.mpdg.net
Marler Design Group		Jackson, MS 39232
Mike Marler	601-906-7660	
McCrary & Associates, LLC.		Madison, MS 39110
Andy McCrary	601-906-3477	www.mccrarydesigns.com
Michael Gibson Landscape Architect, Inc.		Madison, MS 39130
Michael Gibson	601-853-3323	www.mglainc.com
Trent Rhodes Landscape Architect, PA		Ridgeland, MS 39158
Trent Rhodes	601-624-5848	
TWB Planning Group		Ridgeland, MS 39157
Mike Rosenthal	601-906-8306	

CHARLTON PLACE APPROVED ARCHITECTS & DESIGNERS

David Wilson Architect		Madison, MS 39110
David Wilson	601-856-1096	www.davidwilsonarchitect.com
Design Studio, Inc.		Ridgeland, MS 39157
Uriel Pineda	601-898-9710	www.designstudioplans.com
Greg Roberts Architect		Baton Rouge, LA 70810
Greg Roberts	225-766-8664	
Inspirations Design Group		Madison, MS 39110
Woody McCullough	601-707-5649	www.inspirationsdesign.net
Thompson Residential Designs, Inc.		Madison, MS 39110
Lisa Thompson	601-856-1004	
Scott Morgan Architect		Ridgeland, MS 39157
Scott Morgan	601-898-3280	www.scottmorganarchitect.com
Ballou Design Group, LLC		Meridian, MS 39301
Will Ballou	601-527-3971	www.balloudesigngroup.com

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APPENDIX 2
SUBMITTAL PLAN CHECKLIST
REFERENCE B.

Final Grading Plan Requirements:

- _____ Final Grading Plan to be drawn at reasonable scale (preferring 1"=20'-0" scale)
- _____ Topographic plan by registered land surveyor with existing contours
- _____ Proposed contour plan showing cut and fill requirements
- _____ Proposed house structure location
- _____ Show and label all retaining wall location(s) and height(s)
- _____ Show and label all existing and proposed drainage features
- _____ Drainage pipe showing location, material, size and invert elevations
- _____ Show and label all swales and other surface drainage
- _____ Show and label all hardscapes such as driveway, walk, patio- location and grade
- _____ Show and label location of temporary gravel access for construction vehicles
- _____ Show and label locations for all silt fence installation

Final Site Plan Requirements:

- _____ Final Site Plan to be drawn at reasonable scale (preferring 1"=20'-0" scale)
- _____ Architect's/Designer name, present address and telephone number
- _____ Owners' name, present address and telephone number
- _____ All Property boundaries and building setbacks
- _____ All utility and drainage easements
- _____ Finish floor elevation and garage finish floor elevation
- _____ Critical Dimensions to layout house on Parcel
- _____ Parcel Number, North Arrow
- _____ All adjacent streets to be noted, Temporary gravel drive location
- _____ Existing trees (trees over 4" in caliper measured 1' above natural grade)
- _____ Existing and proposed drainage features
- _____ Swales and arrows denoting all existing and proposed surface water flow
- _____ Proposed locations of silt fence (shall be located within parcel lines)
- _____ Driveways and sidewalks location, material, finish, and dimensions
- _____ Proper driveway apron detail (Refer to Appendix 3 herein)
- _____ All hardscape location, material, finish, and dimensions
- _____ All proposed free standing or accessory structures, features, and improvements,
- _____ All retaining/ courtyard walls, fences, decks, piers,
- _____ All pools, spas, courts (location, material, type, finish, and dimensions)
- _____ Impact of surroundings -All adjacent parcels, lakes, common areas to be noted

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APPENDIX 2
SUBMITTAL PLAN CHECKLIST
REFERENCE B.

Final Architectural Floor Plan Requirements:

- _____ Final Architectural Floor Plan to be drawn at 1/4" = 1'-0" scale
- _____ Architect's/Designer name, present address and telephone number
- _____ Owners' name, present address and telephone number
- _____ Plan shall note conditional square footage
- _____ Overall dimensions of the structure should be clearly noted
- _____ Shall meet minimum square footage of 2,750 requirement per DCCR

Final Architectural Elevations Plan Requirements:

- _____ Final Architectural Elevations Plan to be drawn at 1/4" = 1'-0" scale
- _____ Architect's/Designer name, present address and telephone number
- _____ Owners' name, present address and telephone number
- _____ Clearly note all exterior materials used –roof, veneer, columns, steps, rails, etc.
- _____ Plan Specifications/Color and Materials completed (Refer to Appendix 1.F herein)
- _____ Finish floor elevation and garage finish floor elevation
- _____ Vertical Dimensions (overall structure, ceiling heights 10' - 1st floor, 9' - 2nd floor)
- _____ All appropriate exterior details and proportions to style of home
- _____ Chimneys: no exterior wood, clad, or metal veneer (Chimney cap required)
- _____ Three or more exterior veneers shall be discouraged
- _____ Doors and windows to be wood/ wood clad approved by ARC
- _____ Doors and windows to be minimum 8'-0" tall in header height
- _____ Doors and window lites to be true or simulated divided lites
- _____ Shutters: shall be hinged/ operable/ sized to openings
- _____ Single Bay Garage Doors minimum 8'-0" tall in height w/ hinge hardware
- _____ Dormers: shall be traditional or classic proportions, tight fitting to windows
- _____ Roof: slope less than 4:12 pitch shall be standing seam copper only
- _____ Roof: sample, Main structure at front 10'V:12'H or steeper
- _____ Stucco – real cement stucco only
- _____ Encourage: thickened eave board in lieu of fascia board
- _____ Exposed shaped rafter tails
 - Bracketed soffits
 - Contrasting earth tones vs. white eave/fascia/soffit
 - Overhang at gables ends less than other areas of roof
 - Properly proportioned eave returns at gable ends vs. block
 - Eave return overhangs at dormers proportionately less than at major roof

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APPENDIX 2
SUBMITTAL PLAN CHECKLIST
REFERENCE B.

Final Landscape Plan Requirements:

- _____ Final Landscape Plan to be drawn at reasonable scale (preferring 1"=20'-0" scale)
- _____ Landscape Architect's/Designer name, present address and telephone number
- _____ Owners' name, present address and telephone number
- _____ All Property boundaries
- _____ Parcel Number
- _____ North Arrow
- _____ All Existing trees (trees over 4" in caliper measured 1' above natural grade)
- _____ All Proposed trees (noting species, size, and caliper)
- _____ All Proposed shrubs & groundcover plantings (species, size, quantity and spacing)
- _____ All proposed lawn areas, noting location, limits, method of application (sod, seeding, hydro-mulching, etc.) and lawn species. All front lawn areas to shall be sodded only.
- _____ All proposed structure elevations (if not provided in Architectural Plans)
- _____ Proper driveway apron detail (Refer to Appendix 3 herein)
- _____ All hardscape such as Driveways, walks, patios, location, material, finish, and dimensions
- _____ All proposed free standing or accessory structures, features, and improvements,
- _____ All retaining/ courtyard walls, fences, decks, piers,
- _____ All pools, spas, courts (location, material, type, finish, and dimensions)
- _____ Landscape lighting –low voltage, direct task, close to grade
- _____ Impact of surroundings -All adjacent parcels, lakes, common areas to be noted

Three (3) sets of all plans stated above accompanied with a properly labeled shipping tube

Copy of filed deed to parcel under review (Proof of Ownership)

Appropriate ARC Fees and deposits on two separate checks

A complete application (Appendix 1 herein Forms A-F)

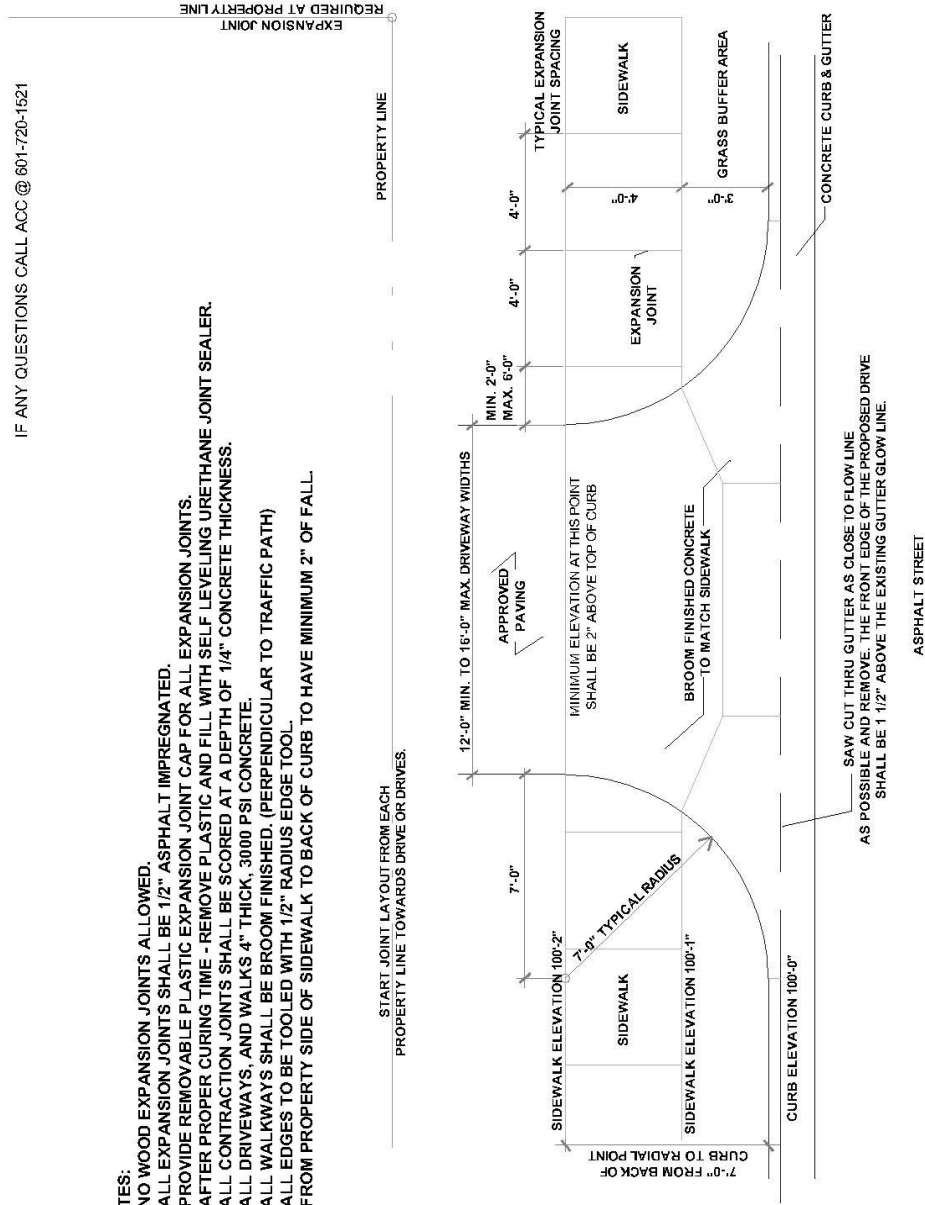
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APPENDIX 3
DRIVEWAY APRON AND SIDEWALK DETAIL
DETAIL A

IF ANY QUESTIONS CALL ACC @ 601-720-1621

NOTES:

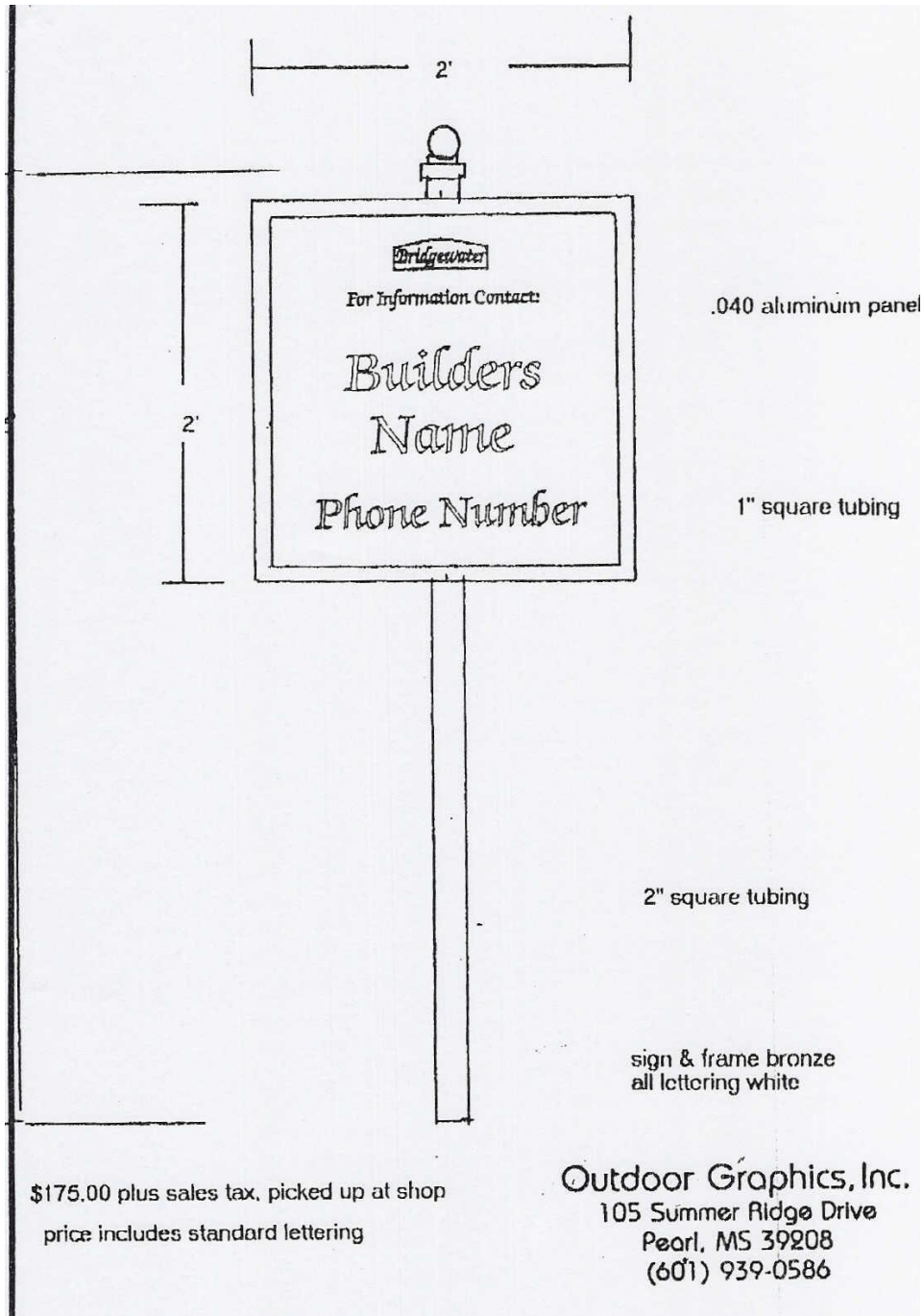
- 1.) NO WOOD EXPANSION JOINTS ALLOWED.
- 2.) ALL EXPANSION JOINTS SHALL BE 1/2" ASPHALT IMPREGNATED.
- 3.) PROVIDE REMOVABLE PLASTIC EXPANSION JOINT CAP FOR ALL EXPANSION JOINTS.
- 4.) AFTER PROPER CURING TIME - REMOVE PLASTIC AND FILL WITH SELF LEVELING URETHANE JOINT SEALER.
- 5.) ALL CONTRACTION JOINTS SHALL BE SCORED AT A DEPTH OF 1/4" CONCRETE THICKNESS.
- 6.) ALL DRIVEWAYS, AND WALKS 4" THICK, 3000 PSI CONCRETE.
- 7.) ALL WALKWAYS SHALL BE BROOM FINISHED. (PERPENDICULAR TO TRAFFIC PATH)
- 8.) ALL EDGES TO BE TOOLED WITH 1/2" RADIUS EDGE TOOL.
- 9.) FROM PROPERTY SIDE OF SIDEWALK TO BACK OF CURB TO HAVE MINIMUM 2" OF FALL.



SIDEWALK & DRIVE APRON DETAIL
 N.T.S. - CONTACT FOR APPROVAL OF FORMS PRIOR TO POURING OF SAME

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APPENDIX 3
SIGNAGE AND INFO BOX
DETAIL B



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APPENDIX 3
MAILBOX DETAIL
DETAIL C

